

RECORDED REQUEST OF
First American Title
SUBDIVISION MAPPING DEPT.

12258

DOC # 2006-0790176



NOV 06, 2006 4:07 PM

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SMITH, COUNTY RECORDER
FEES: 49.00
PAGES: 15



2006-0790176

Recorded at Request of:

First American Title Company
Order No. 1498172 (22)

When Recorded, Return to:

Robinson-Hillcrest 92103, LLC
c/o Christopher Stearns
Attorney at Law
1901 First Ave., Suite 112
San Diego, CA 92101-0300

CERTIFICATE
UNDER CALIFORNIA CIVIL CODE SECTION 1351
FOR
727 ROBINSON
CONDOMINIUM PLAN

We the undersigned, being all of the record owner(s) of, and record holder(s) of security interests in, the real property described as follows:

Lot 1 of 727 ROBINSON AVENUE, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 15433, filed in the Office of the County Recorder of San Diego County, on September 20, 2006.

do hereby certify that:

We hereby consent, pursuant to Chapter 1350 et seq. of California Civil Code, to the recordation of the plan of condominium, consisting of: (i) the description or survey map of the surface of the land included with the Project; (ii) the diagrammatic floor plans of the building(s) built or to be built on said land, as said diagrammatic floor plans are attached to this Certificate, and which diagrammatic floor plans are hereby by reference incorporated herein; (iii) the definitions set forth on Exhibit "A", which is attached hereto and incorporated herein by reference; and (iv) this Certificate.

Record Owner(s):

ROBINSON-HILLCREST 92103, LLC,
A California Limited Liability Company,

By: 

JUDY PRESTON,
Managing Member

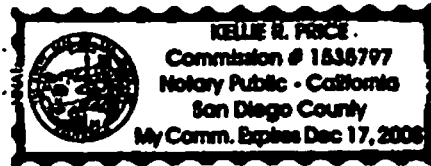
STATE OF CALIFORNIA)
)
COUNTY OF SAN DIEGO)

On this 17 day of October, 2006 before me, the ~~undersigned~~ ^{Kellie R. Price}, a Notary Public in and for said County and State, personally appeared _____

Judy Preston
personally known to me (~~or proved to me on the basis of satisfactory evidence~~) to be the person(s) whose name(s) is/~~are~~ subscribed to the within instrument and acknowledged to me that ~~he~~/she/~~they~~ executed the same in ~~his~~/her/~~their~~ authorized capacity(~~ies~~); and that by ~~his~~/her/~~their~~ signature(~~s~~) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Kellie R. Price



DEFINITIONS

1. "Condominium" shall mean an estate in real property as defined in California Civil Code Section 1351(f) or any successor statute and shall consist of an undivided interest in common in a portion of the real property hereinafter described, coupled with a separate interest in space called a Unit, the boundaries of which are described on the attached final Condominium Plan in sufficient detail to locate all boundaries thereof.
2. "Common Area" shall mean and refer to the entire common interest development (the Project) except the separate interests (Units) therein. The Common Area includes, without limitation: land; landscaping; driveways and driveway areas; exterior stairs, stairway areas and landing areas; walkways and walkway areas; utility panels and areas; trash and dumpster areas; controlled access gates; perimeter fencing; and the bearing walls, columns, girders, subfloors, unfinished floors, roofs and foundations of all buildings shown on the Plan; reservoirs, tanks, pumps, ducts, flues, chutes, conduits, pipes, plumbing, wires and other utility installations (except the outlets thereof, other than central fire protection sprinkler heads, when located within a Unit), required to provide power, light, telephone, television, gas, water, sewer, drainage, and other utility service.
3. "Exclusive Use Common Area" shall mean and refer to those portions of the Common Area designated by the Declaration for the exclusive use of one or more, but fewer than all, of the Owners of the separate Units and which are or become appurtenant to the separate Units. Balcony areas are identified on the Condominium Plan by the designation "B-#" and Patio areas are identified on the Condominium Plan by the designation "P-#" and Deck areas are identified on the Condominium Plan by the designation "D-#" and all areas so identified are Exclusive Use Common Areas appurtenant to the Unit bearing the same identification number (#) as shown on the Condominium Plan. If the letters "A/a" and "B/b" (or any other additional symbols) are included in the designations for any of these areas they are simply a means of distinguishing one such area that is appurtenant to a particular Unit from another such area of the same type that is also appurtenant to the same Unit. Parking Spaces are identified on the Condominium Plan by the designation "PS-*" and Garage areas are identified on the Condominium Plan by the designation "G-*" and individual Storage areas are identified on the Condominium Plan by the designation "S-*" and in all such cases their identification numbers (*) do not correspond to the identification number of any particular Unit but are simply a means of distinguishing one such area from another of the same type. Parking Spaces and Garage areas and individual Storage areas may become Exclusive Use Common Areas in the manner set forth in the Declaration (by inclusion in the original deed of conveyance from Declarant to the Unit Owner).
4. "Project" shall mean and refer to that certain real property described on the first page of this Certificate, including all structures and improvements erected or to be erected thereon, and all appurtenances thereto.
5. "Unit" and "Living Unit" are synonymous terms and shall mean and refer to the separate interests in space, the boundaries of which are described on the attached final Condominium Plan in sufficient detail to locate all boundaries thereof. Units are identified on the Condominium Plan by the designation "LU-#" where "#" is the number of the Unit.

Exhibit "A"

12264

727 ROBINSON AVENUE CONDOMINIUM PLAN

AN EIGHT UNIT CONDOMINIUM DEVELOPMENT
727 ROBINSON AVENUE, SAN DIEGO CALIFORNIA

PREPARED FOR:

ROBINSON-HILLCREST 92103, LLC
c/o BANKERS HILL PROPERTIES
2670 FIFTH AVENUE
SAN DIEGO, CALIFORNIA 92103
TELEPHONE: (619) 744-4000
FACSIMILE NO.: (619) 744-4005

PREPARED BY:

INGENUITY ENGINEERING CORPORATION
3035 EAST 8TH STREET
NATIONAL CITY, CALIFORNIA 91950
TELEPHONE: (619) 327-0817
FACSIMILE: (619) 327-0807
DATE: OCTOBER 11, 2006

SHEET INDEX:

<u>SHEET NO.</u>	<u>SHEET DESCRIPTION:</u>
1	COVER SHEET
2 THRU 4	GENERAL NOTES, DESCRIPTIONS, LEGEND & ENGINEERS STATEMENT
5	SITE PLAN
6	BUILDING DIAGRAM & FLOOR PLANS (PARKING, GARAGES, STORAGES)
7	BUILDING DIAGRAM & FLOOR PLANS (LU-1 THRU LU-3, B-1, P-2 & P-3)
8	BUILDING DIAGRAM & FLOOR PLANS (LU-4 THRU LU-6, B-2 THRU B-4)
9	BUILDING DIAGRAM & FLOOR PLANS (LU-7 & LU-8, D-7, B-8)

727 ROBINSON AVENUE
CONDOMINIUM PLAN
GENERAL NOTES & DESCRIPTIONS

INGENUITY ENGINEERING CORPORATION
3035 E. 8TH STREET, NATIONAL CITY, CA 91950
TELEPHONE: (619) 327-0817 FACSIMILE: (619) 327-0807

SHEET
2
OF 9 SHEETS
10.11.2006

GENERAL NOTES & DESCRIPTIONS:

12265

- 1) "LIVING UNITS" ARE NUMBERED "LU-1" THRU "LU-8".
- 2) "GARAGES" ARE NUMBERED "G-101" THRU "G-103".
- 3) "PARKING SPACES" ARE NUMBERED "PS-101" THRU "PS-108".
- 4) "PATIOS" ARE NUMBERED "P-2" AND "P-3".
- 5) "BALCONIES" ARE NUMBERED "B-1", "B-4", "B-5", "B-6" & "B-8".
- 6) "STORAGE AREAS" ARE NUMBERED "S-101" THRU "S-109".
- 7) "DECK" IS NUMBERED "D-7".
- 8) THE BOUNDARIES OF EACH OF THE LIVING UNITS & "EXCLUSIVE USE" GARAGE AND STORAGE AREA AS SEPARATELY SHOWN, NUMBERED AND DESIGNATED ON THE CONDOMINIUM PLAN CONSISTS OF THE SPACE BOUNDED BY WALLS, FLOORS, CEILINGS, WINDOWS AND DOORS OF EACH LIVING UNIT, GARAGE AND STORAGE AREA. EACH LIVING UNIT AND GARAGE SPACE INCLUDES BOTH THE PORTIONS OF THE BUILDING SO DESCRIBED AND AIRSPACE SO ENCOMPASSED.
- 9) INTERPRETING DEEDS AND THE CONDOMINIUM PLAN, THE EXISTING PHYSICAL BOUNDARIES OF EACH LIVING UNIT, GARAGE, PARKING SPACE, PATIO, BALCONY, STORAGE AREA & DECK WHETHER IN ITS ORIGINAL STATE OR RECONSTRUCTED IN SUBSTANTIAL ACCORDANCE WITH THE ORIGINAL PLANS THEREOF SHALL BE CONCLUSIVELY PRESUMED TO BE ITS BOUNDARIES EXPRESSED IN THE DEED OR THE CONDOMINIUM PLAN, REGARDLESS OF SETTLING OR LATERAL MOVEMENT OF THE CONDOMINIUM PLAN OR DEED, AND THOSE OF THE CONDOMINIUM BUILDING.
- 10) "COMMON AREA" SHALL MEAN AND REFER TO THOSE PORTIONS OF THE PROJECT NOT CONSTITUTING INDIVIDUAL LIVING UNITS, THE COMMON AREA INCLUDES, WITHOUT LIMITATION: LAND, DRIVEWAY AREA, COMMON AND EXTERIOR STAIRS AND WALKWAYS, BEARING WALLS, COLUMNS, GIRDERS, SUB FLOORS, UNFINISHED FLOORS, ROOFS AND FOUNDATIONS, CONDUITS, PIPES, PLUMBING, WIRES, AND OTHER UTILITY INSTALLATIONS (EXCEPT THE OUTLETS THEREOF WHEN LOCATED WITHIN THE LIVING UNIT), REQUIRED TO PROVIDE POWER, LIGHT, GAS, TELEPHONE, WATER, SEWERAGE, DRAINAGE AND HEAT, SPRINKLERS, SPRINKLER PIPES, AND SPRINKLER HEADS WHICH PROTRUDE INTO AIRSPACE OF A LIVING UNIT.
- 11) "EXCLUSIVE USE COMMON AREA" SHALL MEAN AND REFER TO THOSE PORTIONS OF THE COMMON AREA, IF ANY, SET ASIDE FOR THE EXCLUSIVE USE OF A CONDOMINIUM OWNER OR OWNERS. THE PATIO, BALCONY, & DECK WHICH ARE DESIGNATED AS "EXCLUSIVE USE COMMON AREAS" ON THE CONDOMINIUM PLAN ARE HEREBY SET ASIDE AND ALLOCATED FOR THE EXCLUSIVE USE OF THE OWNER OF THE LIVING UNIT TO WHICH EACH OF THE SAME ARE MADE APPURTENANT ON THESE PLANS. EACH EXCLUSIVE USE COMMON AREA SHOWN HEREON IS APPURTENANT TO THE LIVING UNIT BEARING THE SAME NUMBER. THE BOUNDARY OF EACH EXCLUSIVE USE COMMON AREA IS AS FOLLOWS:

THE UPPER HORIZONTAL BOUNDARY OF THE EXCLUSIVE USE COMMON AREA FOR THE PARKING SPACES, PATIOS, BALCONIES, AND DECK IS A HORIZONTAL PLANE PARALLEL TO AND 8.0 FEET ABOVE THE FINISHED FLOOR ELEVATION. (SEE FINISHED ELEVATIONS AS SHOWN ON EACH OF THE FLOOR PLAN DIAGRAMS.)

NOTE: THE GARAGE, PARKING SPACE AND STORAGE AREAS AS SHOWN ON THESE CONDOMINIUM PLANS MAY BECOME EXCLUSIVE USE COMMON AREAS AS SET FORTH IN THE CONDOMINIUM PLAN DECLARATIONS.

GENERAL NOTES & DESCRIPTIONS: - Continued

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THE LATERAL BOUNDARIES ARE VERTICAL PLANES AT THE LIMITS OF THE HORIZONTAL DIMENSIONS SHOWN ON THESE PLANS.

10) ALL HORIZONTAL ANGLES BETWEEN BOUNDARY PLANES ARE AT 90° UNLESS OTHERWISE NOTED ON THESE PLANS.

11) WRITTEN DIMENSIONS ON THESE PLANS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.

12) ALL DIMENSIONS ARE MEASURED AT RIGHT ANGLES TO THE PROPERTY LINE.

LEGAL DESCRIPTION:

LOT 1 OF 727 ROBINSON AVENUE IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 15443, FILED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER, SEPTEMBER 20, 2006.

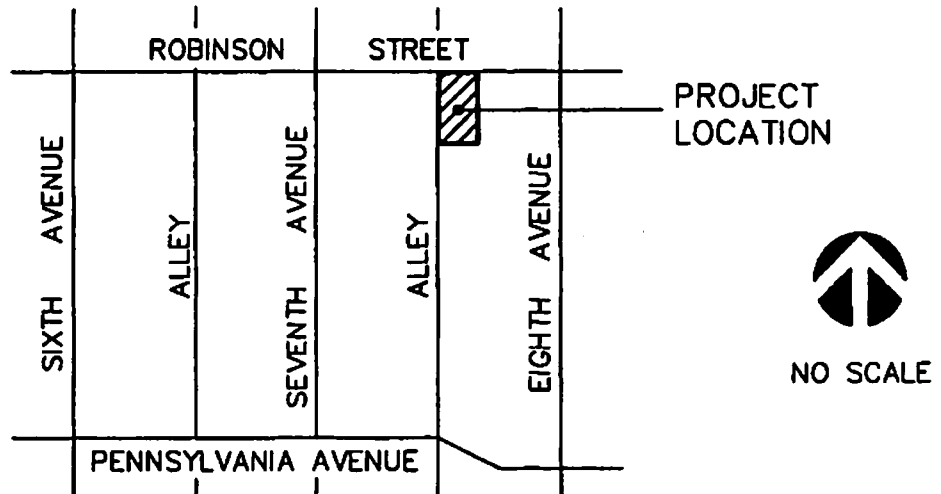
BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS CONDOMINIUM PLAN IS THE NORTHERLY PROPERTY LINE OF LOT 1, ACCORDING TO MAP THEREOF NO. 15433, RECORDED SEPTEMBER 20, 2006. I.E. N. 89°56'08" E.

BASIS OF ELEVATION:

THE BASIS OF ELEVATION FOR THIS SURVEY IS A SOUTHWEST BRASS PLUG LOCATED AT THE INTERSECTION OF ROBINSON AVE. AND SIXTH AVE. PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK.
ELEVATION: 291.512 M.S.L. (N.G.V.D. 29)

VICINITY MAP:



727 ROBINSON AVENUE
CONDOMINIUM PLAN
GENERAL NOTES & DESCRIPTIONS

INGENUITY ENGINEERING CORPORATION
3035 E. 8TH STREET, NATIONAL CITY, CA 91950
TELEPHONE: (619) 327-0817 FACSIMILE: (619) 327-0807

SHEET
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OF 9 SHEETS
10.11.2006

727 ROBINSON AVENUE
 CONDOMINIUM PLAN
 LEGEND & ENGINEERS STATEMENT

INGENUITY ENGINEERING CORPORATION
 3035 E. 8TH STREET, NATIONAL CITY, CA 91950
 TELEPHONE: (619) 327-0817 FACSIMILE: (619) 327-0807

SHEET
 4
 OF 9 SHEETS
 09.26.2004



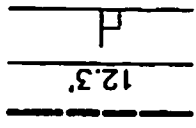
JOSEPH S. CHUA RCE 53168
 REGISTRATION EXPIRES: 6-30-2007

I HEREBY STATE THAT I AM A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA AND THAT THIS CONDOMINIUM PLAN CONSISTING OF (9) SHEETS SHOWING THE BOUNDARIES OF THE LAND ENCOMPASSED HEREBY AND THE RELATIONSHIP OF THE LIVING UNITS AND EXCLUSIVE USE COMMON AREAS SHOWN HEREON TO SAID BOUNDARIES, ARE BASED ON ARCHITECTURAL BLDG. PLANS PREPARED BY FARAMARZ YAZDANPARAST, PROJECT ENTITLED "8 UNIT CONDOMINIUM BUILDING," DATED OCTOBER 2, 1989, REFERENCE CITY OF SAN DIEGO BUILDING PLAN FILE NO. A008951-89, AND A BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY C.B. LAND SURVEYING, DATED JUNE 29, 2004.

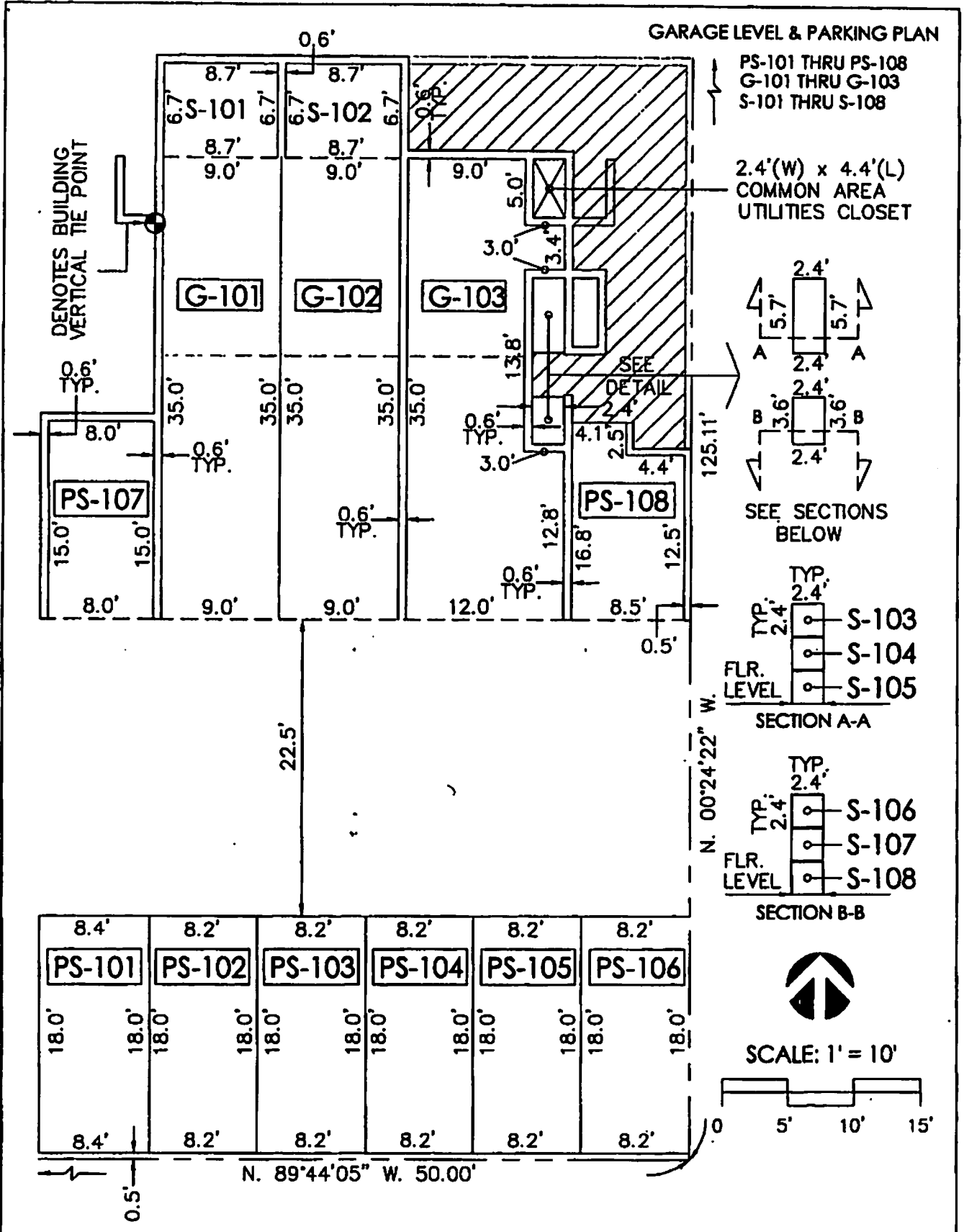
JOB NO. 04-065

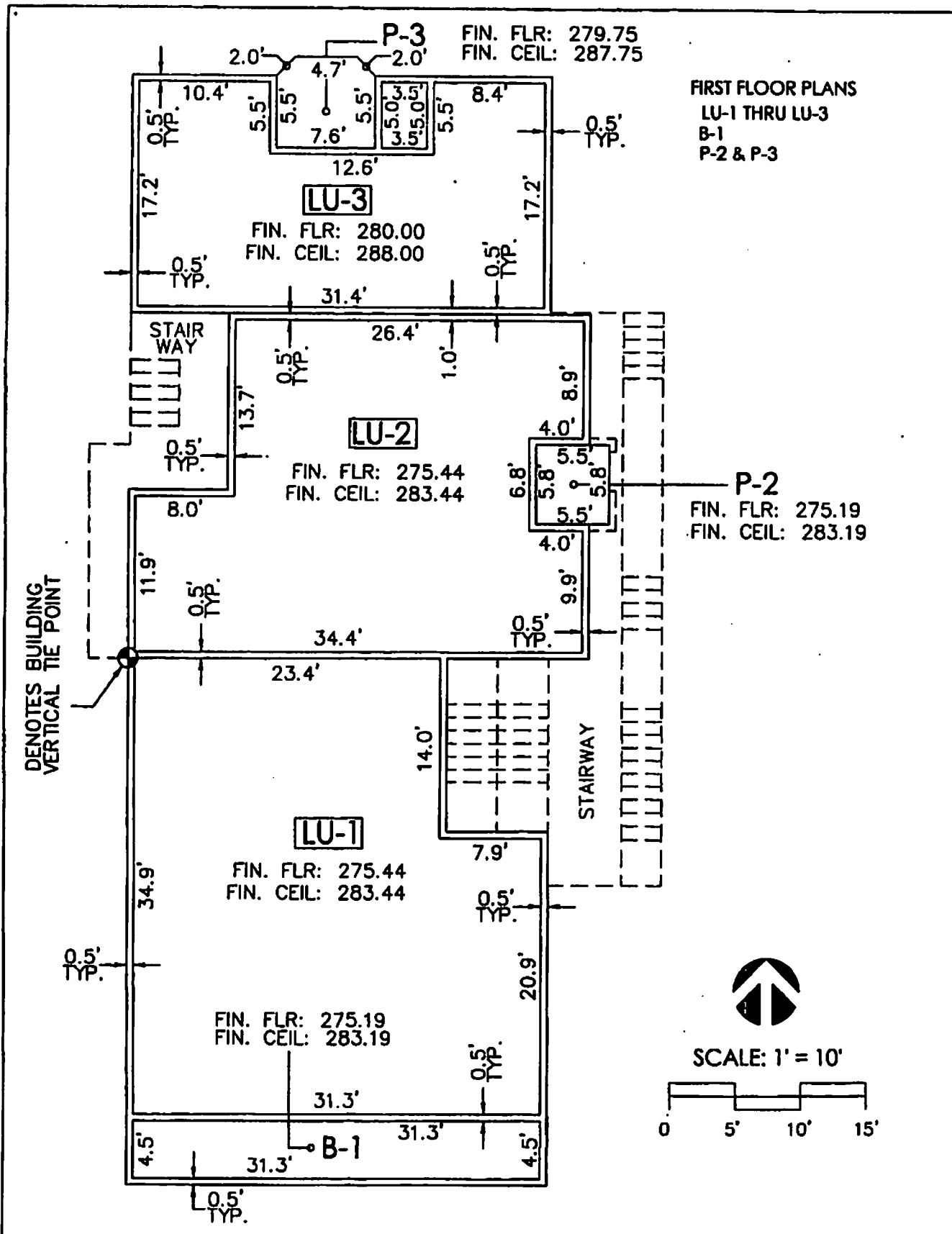
ENGINEERS STATEMENT:

- DENOTES BOUNDARY LINES OF REAL PROPERTY
- DENOTES BOUNDARY OF AIRSPACE (DIMENSIONED)
- DENOTES BUILDING THE LINE (90' TO PROPERTY LINE)
- DENOTES LIVING UNIT
- DENOTES LIVING UNIT NUMBER
- DENOTES "GARAGE" - EXCLUSIVE USE COMMON AREA
- DENOTES "PATIO" - EXCLUSIVE USE COMMON AREA
- DENOTES "BALCONY" - EXCLUSIVE USE COMMON AREA
- DENOTES "STORAGE" - EXCLUSIVE USE COMMON AREA
- DENOTES "DECK" - EXCLUSIVE USE COMMON AREA
- DENOTES FINISHED FLOOR ELEVATION
- DENOTES FINISHED CEILING ELEVATION



12267





727 ROBINSON AVENUE
CONDOMINIUM PLAN
BUILDING DIAGRAM & FLOOR PLANS

INGENUITY ENGINEERING CORPORATION
3035 E. 8TH STREET, NATIONAL CITY, CA 91950
TELEPHONE: (619) 327-0817 FACSIMILE: (619) 327-0807

SHEET
7
OF 9 SHEETS
10.11.2006

Reference Document on Condo Plans

Address			Condo Plans						
			LU	G	PS	S	P	B	D
727	Robinson	Unit HOA	Living	Garages	Parking	Storage	Patios	Balconies	Deck
		Dues	Unit		Spaces				
		A \$179	LU3		PS 107	S103	P-3		
		B \$179	LU6		PS 106	S104		B-6	
		C \$179	LU8		PS 105	S108 & S109		B-8	
		D \$214	LU2		PS101 & PS102	S108	P-2		
		E \$214	LU5		PS103 & PS104	S107		B-5	
		F \$214	LU7	G 103					D-7
		G \$238	LU1	G 102				B-1	
		H \$238	LU4	G 101				B-4	